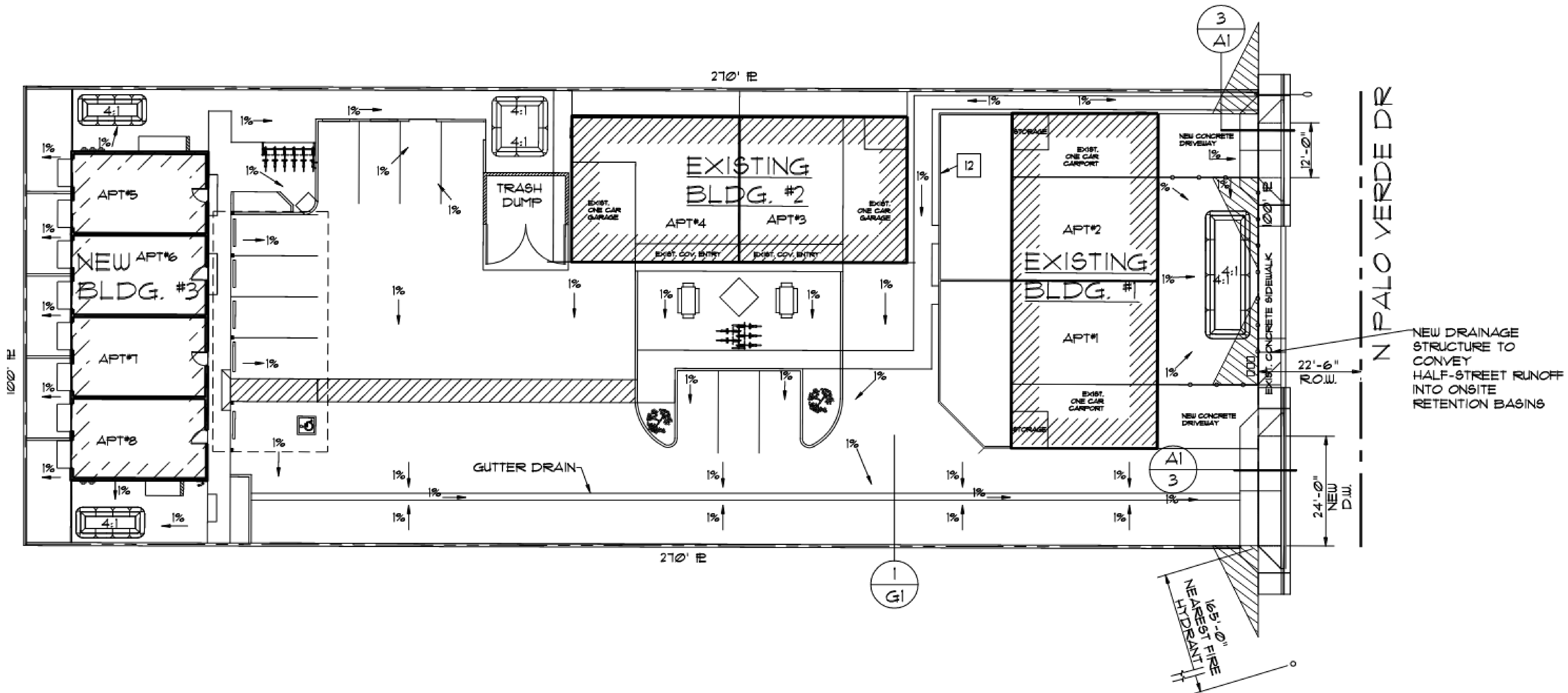




“CITY OF APACHE JUNCTION GENERAL CONSTRUCTION NOTES”

- (A) "ALL WORK AND MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS, UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, SUPPLEMENTS AS AMENDED BY THE CITY OR MAG, AND BY THE APACHE JUNCTION ENGINEERING STANDARDS AND STANDARD DETAILS. A 1-YEAR WARRANTY PERIOD SHALL COMMENCE ONLY AFTER FINAL ACCEPTANCE BY THE CITY ENGINEER OR HIS OR HER DESIGNEE."
- (B) "ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE."
- (C) "ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN A CITY BUSINESS LICENSE AND NECESSARY ENCROACHMENT PERMITS PRIOR TO BEGINNING CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY."
- (D) "CONTRACTOR MUST NOTIFY THE CITY ENGINEER, SCHOOL DISTRICTS AND EMERGENCY SERVICES PROVIDERS 48 HOURS BEFORE RESTRICTING TRAFFIC ON ANY CITY STREET."
- (E) "THE CITY ENGINEER SHALL BE NOTIFIED 2 WORK DAYS PRIOR TO COMMENCING WORK WITHIN PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING AS SPECIFIED IN THE CITY'S TRAFFIC BARRICADE MANUAL AND THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. DEVELOPER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ERECTING, PLACING AND MAINTAINING ALL TEMPORARY AND PERMANENT SIGNING AND STRIPING."
- (F) "ALL IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY ENGINEER OR HIS OR HER DESIGNEE WHO WILL BE NOTIFIED A MINIMUM OF 24 HOURS BEFORE ANY INSPECTION IS NEEDED."
- (G) "THE CITY ENGINEER MAY DIRECT THE PLACEMENT OR DISPOSAL OF SOIL MATERIALS TAKEN FROM THE PUBLIC RIGHT-OF-WAY DURING FREGRAADING."
- (H) "IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL FOR BLUE STAKE, LOCATE AND PROTECT ALL UTILITIES AND THEIR APPURTENANCES."
- (I) "AT LEAST 2 BUT NOT MORE THAN 5 WORKING DAYS PRIOR TO EXCAVATING IN THE VICINITY OF ANY UTILITY, THE CONTRACTOR SHALL CONTACT THE UTILITY'S LOCATING SERVICE FOR FIELD ASSISTANCE."
- (J) "DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED BY WATERING PER FINAL COUNTY AIR QUALITY CONTROL DISTRICT. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE FINAL COUNTY AIR QUALITY CONTROL DISTRICT AND SHALL PROVIDE A COPY TO THE CITY ENGINEER PRIOR TO WATERING."
- (K) "ALL TEMPORARY UTILITIES SHALL BE OBTAINED AND HANDLED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE. THE CONTRACTOR SHALL ARRANGE TO PROCURE AND TRANSPORT WATER TO THE CONSTRUCTION SITE. ALL TEMPORARY FACILITIES AND DEBRIS SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE BY THE CITY."
- (L) "EXISTING UTILITIES SHALL BE RELOCATED AS REQUIRED BY THE CITY. OVERHEAD UTILITY LINES THAT MUST BE RELOCATED SHALL BE PLACED UNDERGROUND AT THEIR OWN COST."
- (M) "THE DEVELOPER SHALL ARRANGE FOR THE REQUIRED UTILITY RELOCATIONS AND BEAR THE COSTS OF THE RELOCATIONS. THE DEVELOPER SHALL PROVIDE AFFECTED UTILITY COMPANIES AND DISTRICTS WITH ADVANCE NOTICE OF THE PROPOSED CONSTRUCTION GIVING SUFFICIENT TIME FOR UTILITY REVIEW."
- (N) "CITY IS NOT LIABLE FOR DELAYS OR ANY DAMAGES TO UTILITIES RELATED TO THIS CONSTRUCTION NOR WILL THE CITY PARTICIPATE IN THE COST OF UTILITY CONSTRUCTION OR RELOCATION."
- (O) "FRAMES, COVERS, VALVE BOXES AND MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY PAVEMENT SHALL BE LOWERED TO NOT HIGHER THAN SUBGRADE. PLATED AND THE ABC AND AC CONSTRUCTED. AFTER THE AC IS PLACED, THE AC SHALL BE SAWCUT AND THE LOWERED FRAMES, COVERS AND MANHOLES SHALL BE ADJUSTED TO GRADE AND CONCRETE COLLARED PER MAG STANDARD DETAILS 420-1, 420-2, 426, 520, 521 AND 522 FOR MANHOLES AND MAG STANDARD DETAIL 391-1 FOR VALVES."
- (P) "ONLY WATER COMPANY EMPLOYEES ARE AUTHORIZED TO OPERATE THE WATER VALVES AND FIRE HYDRANTS ON THEIR WATER SYSTEM."
- (Q) "TRAFFIC SIGNAL ACTIVITY THAT INCLUDES RELOCATION, RE-CONSTRUCTION OR ANY IMPROVEMENTS THAT INVOLVE TURNING OFF THE SIGNAL OR OTHER RELATED ACTIVITY MUST BE COORDINATED WITH THE CITY ENGINEER IN ADVANCE."
- (R) "THE DEVELOPMENT SERVICES PROJECT ENGINEER SHALL APPROVE FINAL PLANS AFTER ALL OTHER REVIEWING AGENCIES HAVE SIGNED THE ORIGINALS. A DEVELOPER SHALL SUBMIT THE MYLAR COVER SHEET FOR APPROVAL SIGNATURE."
- (S) "DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED BY THE DEVELOPMENT SERVICES PROJECT ENGINEER PRIOR TO CONSTRUCTION. ANY SUCH CHANGES SHALL BE DOCUMENTED ON ALL AS-BUILT PLANS."
- (T) "CITY'S PLAN APPROVAL IS FOR 1 YEAR ONLY. IF CONSTRUCTION WORK IS NOT STARTED WITHIN 1 YEAR AND ACTIVELY PURSUED TO COMPLETION, THE PLANS SHALL BE BROUGHT UP TO CURRENT STANDARDS AND RESUBMITTED FOR APPROVAL. THE CITY'S REVIEW OF ALL NPDES SUBMITTALS INCLUDING NOT AND NOT SUPPLY IS INTENDED AS REVIEW ONLY AND DOES NOT CONSTITUTE APPROVAL OF THE METHODS OR PLANS FOR CLEANING THE STORMWATER AND PROTECTING THE WATERS OF THE UNITED STATES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INSURING THAT ALL REQUIREMENTS OF THE CLEAN WATER ACT ARE STRICTLY ENFORCED."
- (U) "THE ACCEPTANCE OF THE COMPLETED RIGHTS-OF-WAY IMPROVEMENTS WITHIN A NEW SUBDIVISION WILL NOT BE GIVEN UNTIL ALL DEFICIENCIES ARE CORRECTED. TEST REPORTS MEETING MAG SPECIFICATIONS FOR COMPACTION AND MATERIALS ARE SUBMITTED, THE WARRANTY BOND IS POSTED, AND OTHER DATA INCLUDING AS-BUILT DRAWINGS ARE PROVIDED TO THE CITY ENGINEER."

§ 10-2-13 STREET CONSTRUCTION NOTES.

CITY OF APACHE JUNCTION STREET CONSTRUCTION NOTES"

- (A) "EXACT POINT OF MATCHING TERMINATION AND OVERLAY OF EXISTING STREET PAVEMENT SHALL BE CONFIRMED IN THE FIELD BY THE CITY."
- (B) "DRIVEWAY LOCATIONS SHALL BE CONFIRMED OR APPROVED BY THE CITY PRIOR TO CURB CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATIONS FOR DRIVEWAYS TO AVOID CONFLICT WITH UTILITY SERVICES."
- (C) "CURB, GUTTER, SIDEWALK AND PAVEMENT SHALL BE SWEEP CLEAN OF DIRT AND DEBRIS. NEW SIDEWALK SHALL BE CLEANED AND KEPT CLEAN DURING CONSTRUCTION IF PEDESTRIAN TRAFFIC IS ALLOWED ON THE SIDEWALK."
- (D) "GUTTERS SHALL BE WATER TESTED IN THE PRESENCE OF THE CITY ENGINEER OR DESIGNEE, TO ENSURE PROPER DRAINAGE PRIOR TO ACCEPTANCE."
- (E) "CONTRACTOR SHALL CONTINUOUSLY REFERENCE LOCATION OF ALL VALVES AND MANHOLES DURING CONSTRUCTION."
- (F) "ALL UNDERGROUND UTILITIES LOCATED IN THE ROADWAY SHALL BE COMPLETED BEFORE PAVING."
- (G) "BASE COURSE SHALL NOT BE PLACED UNTIL SUBGRADE HAS BEEN APPROVED BY THE CITY ENGINEER. PAVEMENT COURSE SHALL NOT BE PLACED UNTIL BASE COURSE HAS BEEN APPROVED BY THE CITY ENGINEER."
- (H) "AS-BUILT DRAWINGS, CERTIFIED BY THE SUBDIVIDER'S ENGINEER, SHALL BE SUBMITTED TO AND ACCEPTED BY THE CITY ENGINEER BEFORE FINAL ACCEPTANCE OF THE WORK (SEE AS-BUILT REQUIREMENTS SET FORTH IN APACHE JUNCTION CITY CODE VOL. II, ARTICLE 10-9)." (ORD. PASSED - -)

§ 10-2-14 GRADING AND DRAINAGE CONSTRUCTION NOTES.

- (A) "PLANS FOR GRADING AND DRAINAGE CONSTRUCTION SHALL HAVE THE FOLLOWING NOTES SHOWN ON EITHER THE COVER, NOTE OR DETAIL SHEET."

CITY OF APACHE JUNCTION GRADING AND DRAINAGE CONSTRUCTION NOTES

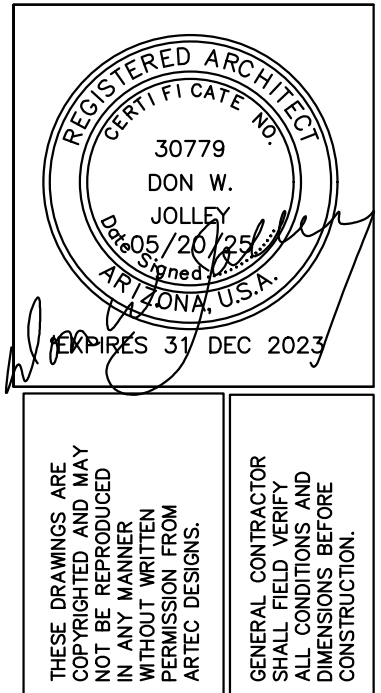
- (A) "AN ON-SITE EXCAVATION AND GRADING PERMIT IS REQUIRED."
- (B) "A SEPARATE ENCROACHMENT PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION."
- (C) "THE CITY SHALL BE NOTIFIED 24 HOURS BEFORE ANY OFF-SITE CONSTRUCTION BEGINS."
- (D) "STAKING PAD AND/OR FINISHED FLOOR ELEVATIONS ARE THE RESPONSIBILITY OF THE DEVELOPER OR HIS OR HER ENGINEER."
- (E) "IN A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SPECIAL FLOOD HAZARD AREA (FEMA ZONES A, AE, AO, AH) A FEMA ELEVATION CERTIFICATE OF THE FINISHED BUILDING FLOOR SHALL BE SUBMITTED AT TIME OF PLAN REVIEW (PRE-CONSTRUCTION ELEVATION CERTIFICATE) AND WITH THE AS-BUILT PLANS (POST-CONSTRUCTION ELEVATION CERTIFICATE). IN NON-CRITICAL DRAINAGE AREAS, THE DEVELOPER'S ENGINEER SHALL SUBMIT CERTIFICATIONS OF CONSTRUCTED BUILDING PAD ELEVATIONS PRIOR TO THE CITY'S ACCEPTANCE OF PROJECT."
- (F) "THE GRADING CONTRACTOR SHALL DESIGNATE THE LOCATION FOR WASTING SPOIL MATERIALS AND A LETTER FROM THE OWNER GIVING PERMISSION FOR THAT DISPOSAL PRIOR TO STARTING ON-SITE CONSTRUCTION WITH A CITY GRADING PERMIT."
- (G) "GRADING AND DRAINAGE PLAN APPROVAL INCLUDES: CONSTRUCTION OF DRAINAGE PLAN, INCLUDING BUT NOT LIMITED TO RETENTION AND DETENTION AREAS AND/OR OTHER DRAINAGE FACILITIES, SURFACE GRADING, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS."
- (H) "THE CONTRACTOR SHALL PROVIDE ALL RETENTION AND DETENTION BASINS AT ELEVATIONS AND LOCATIONS AS SHOWN ON THE PLANS."
- (I) "THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTH OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN AS A RESULT OF CONFLICT WITH UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CONTACT THE DEVELOPMENT SERVICES PROJECT ENGINEER AND DESIGNER AND REQUEST MODIFICATION OF THE BASIN DESIGN."
- (J) "THE SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS AND SHALL BE KEPT AT THE CONSTRUCTION SITE. SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS WHICH ARE FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE."
- (K) "IT IS HEREBY ADVISED THAT NO PERSON SHALL USE ANY MECHANICAL EQUIPMENT FOR LAND LEVELING OR CLEARING, ROAD CONSTRUCTION, TRENCHING, EXCAVATING, DEMOLITION OR ENGAGE IN ANY EARTHMOVING ACTIVITY WITHOUT FIRST OBTAINING A PERMIT FROM THE FINAL COUNTY AIR QUALITY CONTROL DISTRICT. (THIS NOTICE IS ISSUED PURSUANT TO A.R.S. § 49-431, NOTICE OF BUILDING AGENCIES)." (L) "AS-BUILT DRAWINGS, CERTIFIED BY THE DEVELOPER'S ENGINEER OR SURVEYOR, SHALL BE SUBMITTED AND APPROVED PER §10-1-5(C) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY (SEE AS-BUILT REQUIREMENTS, APACHE JUNCTION CITY CODE VOL. II, ARTICLE 10-9)." (ORD. PASSED - -)

§ 10-2-15 WATER MAIN CONSTRUCTION NOTES.

- (A) "PLANS FOR WATER MAIN CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY OR EASEMENTS AND WITHIN THE SERVICE AREA OF THE APACHE JUNCTION WATER UTILITIES COMMUNITY DISTRICT (WUCFD), THE APACHE JUNCTION WATER DISTRICT (AJWD) OR THE ARIZONA WATER COMPANY (AWC) SHALL HAVE THE FOLLOWING SHOWN ON EITHER THE COVER, NOTE OR DETAIL SHEET AND/OR WILL DEPICT THE WATER CONSTRUCTION NOTES PER THE WUCFD/AJWD WHEN THE WATER MAIN CONSTRUCTION IS WITHIN ITS SERVICE AREA."
- "CITY OF APACHE JUNCTION WATER MAIN CONSTRUCTION NOTES"
- (A) "CONTRACTOR WILL EXPOSE ANY LINES BEING TIED INTO TO VERIFY LOCATION."
- (B) "BACKFILLING SHALL NOT BE DONE UNTIL LINES ARE INSPECTED AND APPROVED BY THE CITY ENGINEER."
- (C) "VALVES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR ACCORDING TO MAG, CITY SUPPLEMENTS, WUCFD/AJWD AND/OR AWC."
- (D) "BACKFLOW PREVENTION ASSEMBLIES SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR ACCORDING TO MAG, CITY SUPPLEMENTS, WUCFD/AJWD AND/OR AWC. ASSEMBLIES 2 INCHES AND SMALLER SHALL BE PLACED IN A PROTECTIVE CAGE PAINTED A NEUTRAL OR EARTHTONE COLOR. LARGER ASSEMBLIES (3 INCHES AND ABOVE) SHALL BE PAINTED A NEUTRAL OR EARTHTONE COLOR."
- (E) "FIRE HYDRANTS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR, AND SHALL BE PAINTED CHROME YELLOW AFTER INSTALLATION. APPROVED FIRE HYDRANT LIST IS AVAILABLE AT THE WUCFD/AJWD AND/OR AWC."
- (F) "ALL SERVICE LINES SHALL BE TYPE K1 COPPER TUBING. THE MINIMUM SIZE SERVICE LINE SHALL BE 1-INCH. SERVICE LINES SHALL BE CONTINUOUS UNDER PAVEMENT WITHOUT A CONNECTION OR EXTENSION (SEE APACHE JUNCTION STANDARD DETAIL AJW-101)." (G) "ALL TAPS SHALL USE ALL BRONZE DOUBLE STRAP SERVICE SADDLE."
- (H) "WUCFD/AJWD AND/OR AWC WILL INSTALL ALL METERS 2 INCHES AND SMALLER AFTER ALL APPROPRIATE FEES HAVE BEEN PAID AND PAPERWORK COMPLETED. SERVICES UP TO 2 INCHES SHALL BE INSTALLED PER APACHE JUNCTION STANDARD DETAIL AJW-101. LARGER METERS AND SERVICES SHALL BE IN ACCORDANCE WITH APACHE JUNCTION CITY CODE VOL. II, § 10-5-3(E) AND (F) OF THIS CHAPTER."
- (I) "PAVEMENT REPLACEMENT SHALL BE MADE TO APACHE JUNCTION STANDARD DETAIL AJ-200M."
- (J) "AS-BUILT DRAWINGS, CERTIFIED BY THE SUBDIVIDER'S ENGINEER, SHALL BE SUBMITTED TO AND ACCEPTED BY THE CITY ENGINEER BEFORE FINAL ACCEPTANCE OF THE WORK (SEE APACHE JUNCTION CITY CODE VOL. II, ARTICLE 10-9, AS-BUILT REQUIREMENTS, OF THIS CHAPTER)." (K) "PLANS SUBMITTED FOR PROJECTS WITHIN THE AUC SERVICE AREA SHALL SHOW NOTES PER AUC REQUIREMENTS AS APPROVED BY THE CITY." (ORD. PASSED - -)

§ 10-2-16 SEWER CONSTRUCTION NOTES.

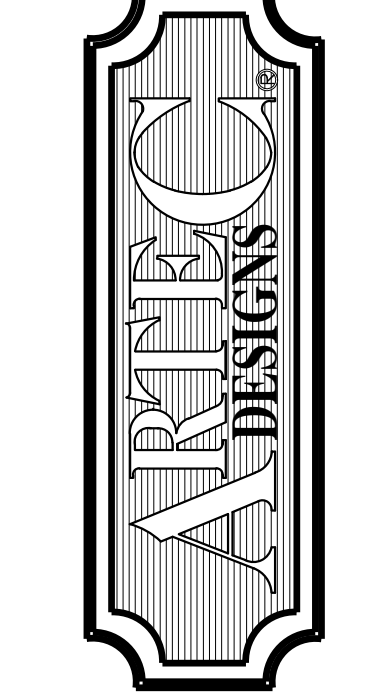
- (A) "PLANS FOR SEWER CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY OR EASEMENTS SHALL HAVE GENERAL NOTES AND CONSTRUCTION NOTES SHOWN ON EITHER THE COVER, NOTE OR DETAIL SHEET. THE SUPERSTITION MOUNTAINS COMMUNITY FACILITIES DISTRICT NO. 1 ("SMCFD") SHALL BE CONTACTED BY THE DEVELOPER FOR THE REQUIRED LIST OF NOTES.GNNET WWW.AIEDESIGN.NET



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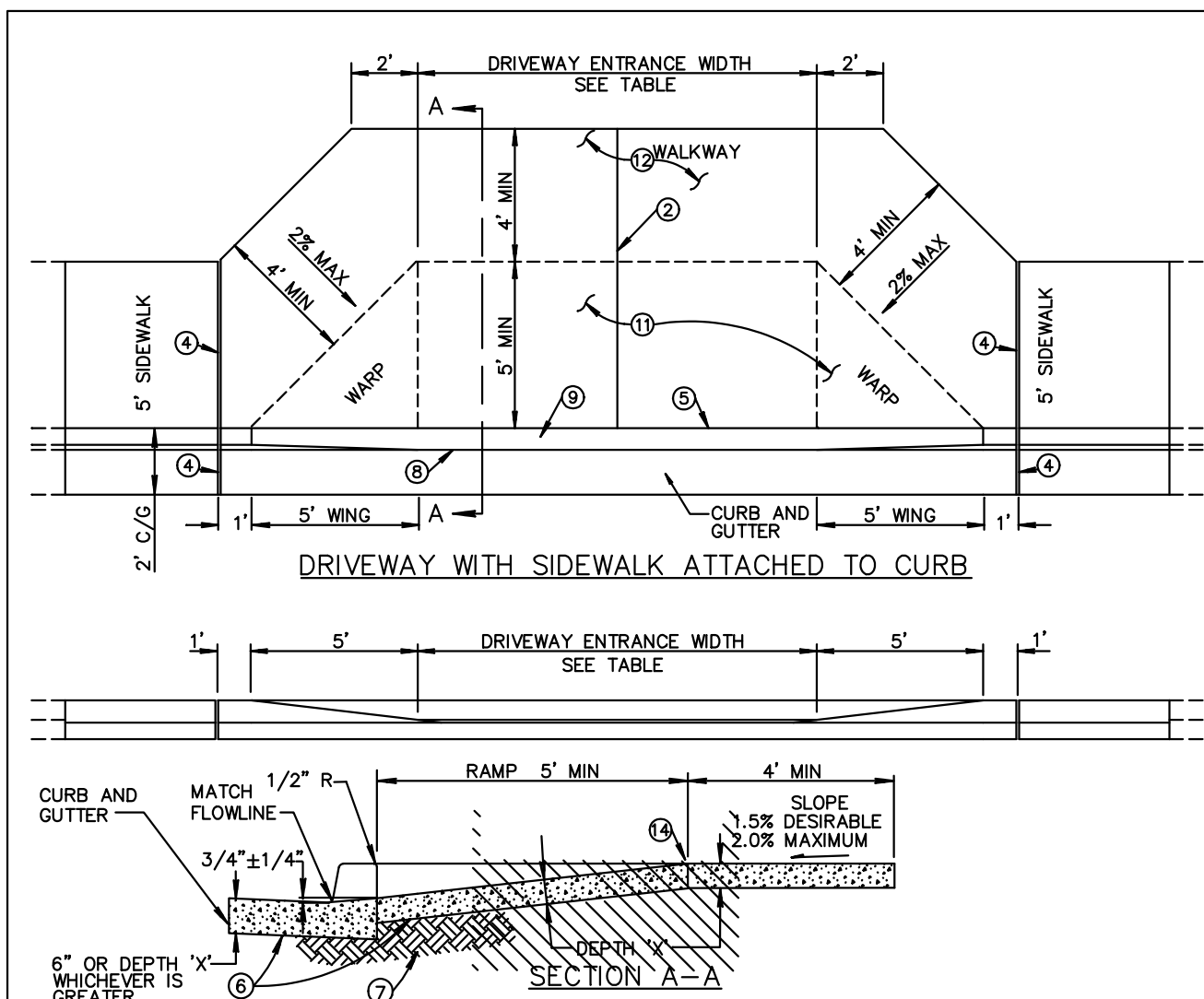
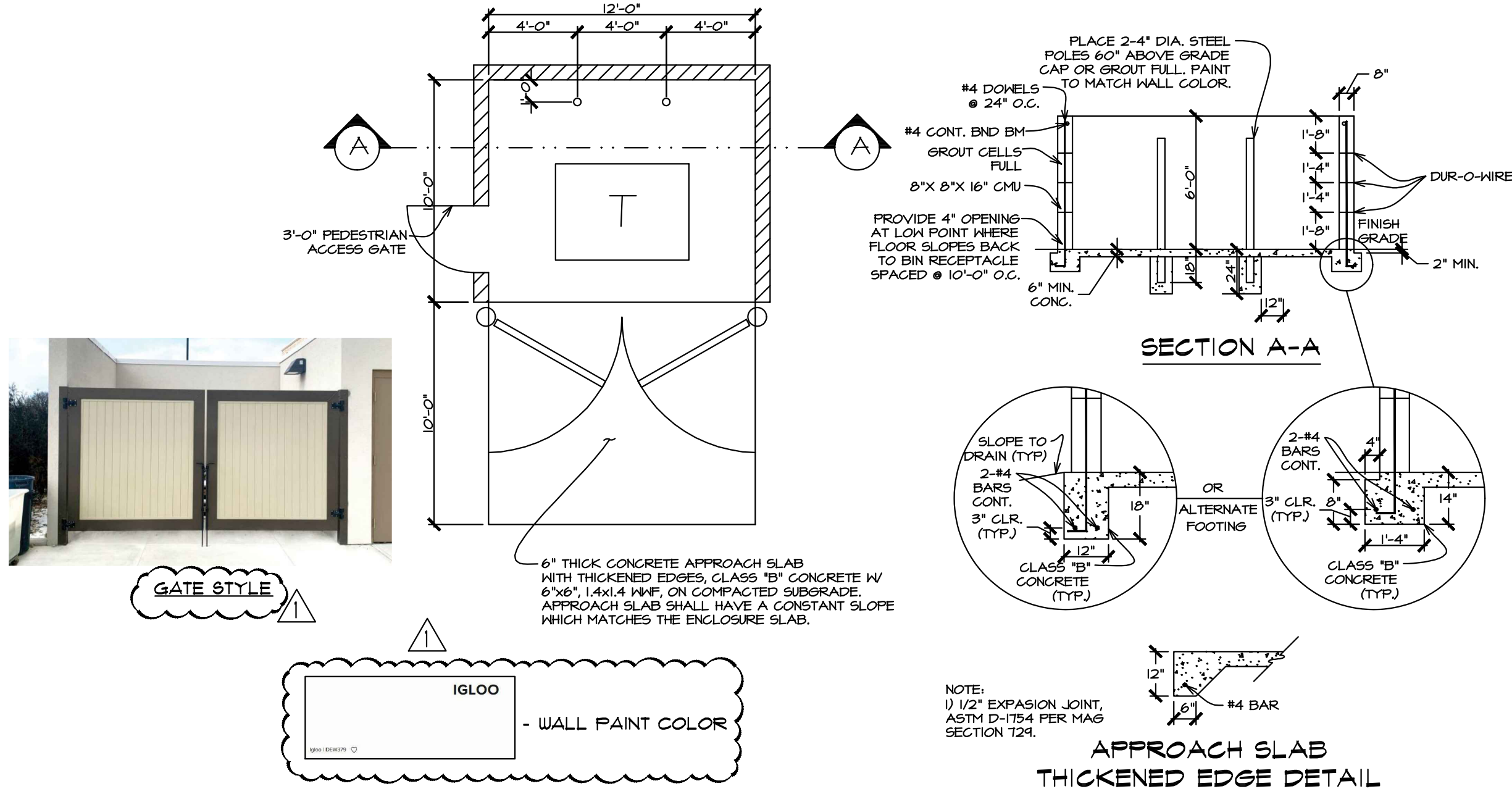
SINCE 2012

03/18/25
1st REVISION: CITY OF APACHE JUNCTION



DRAWN BY: JB
DATE: 05/20/25
JOB #23-0214

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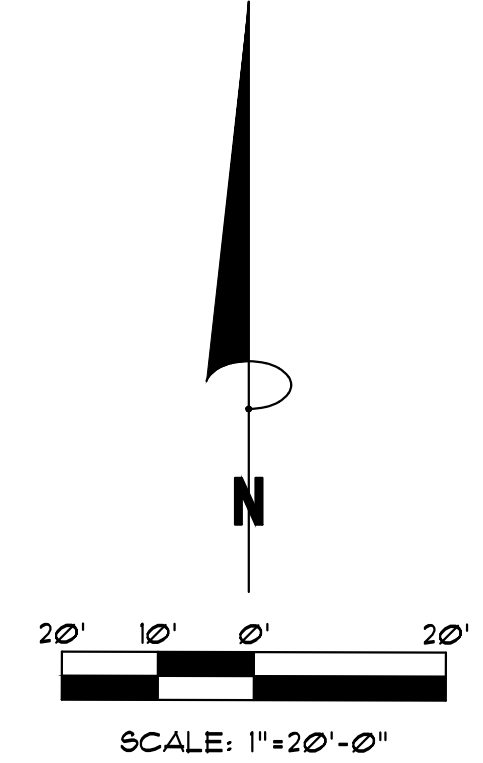
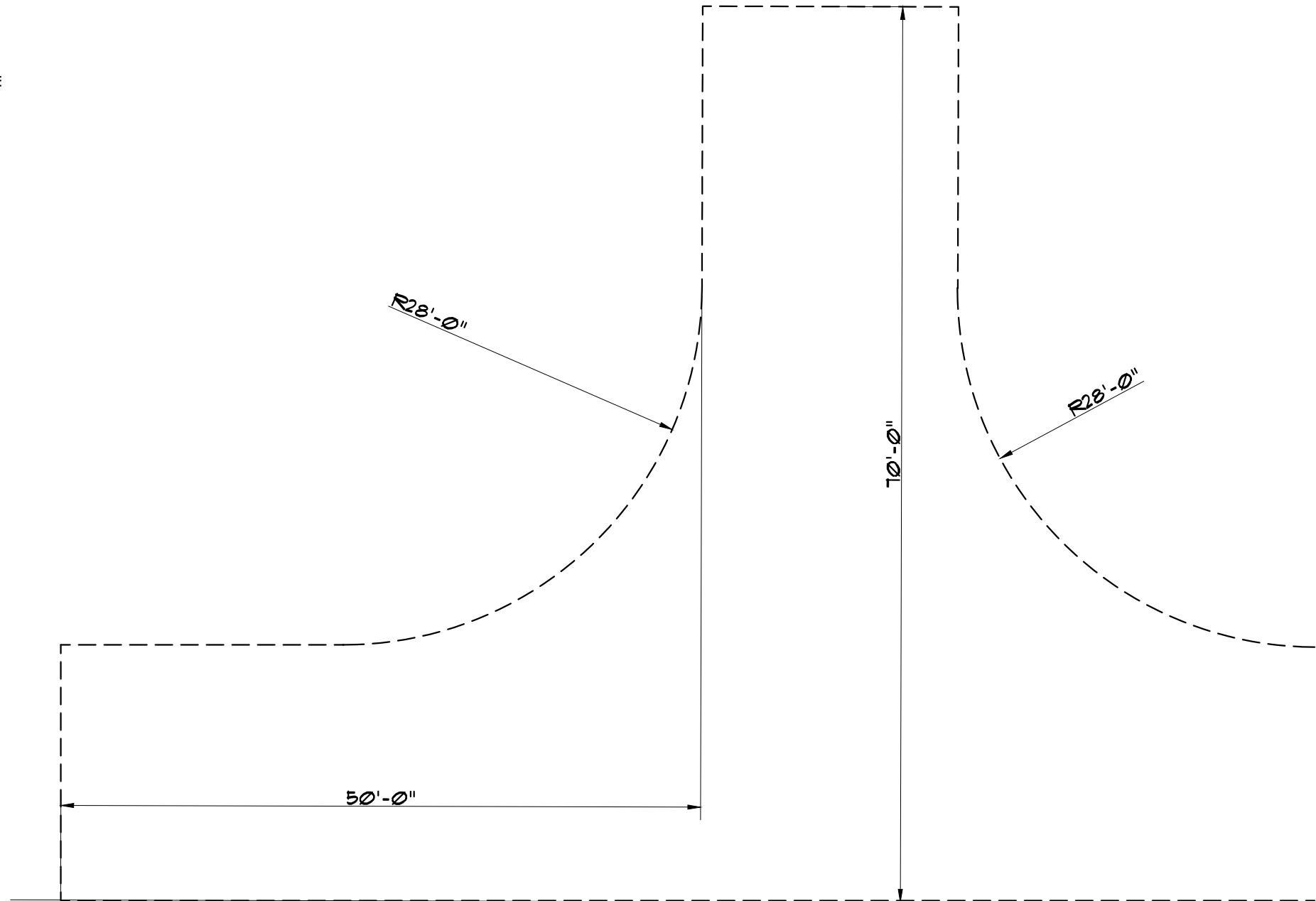
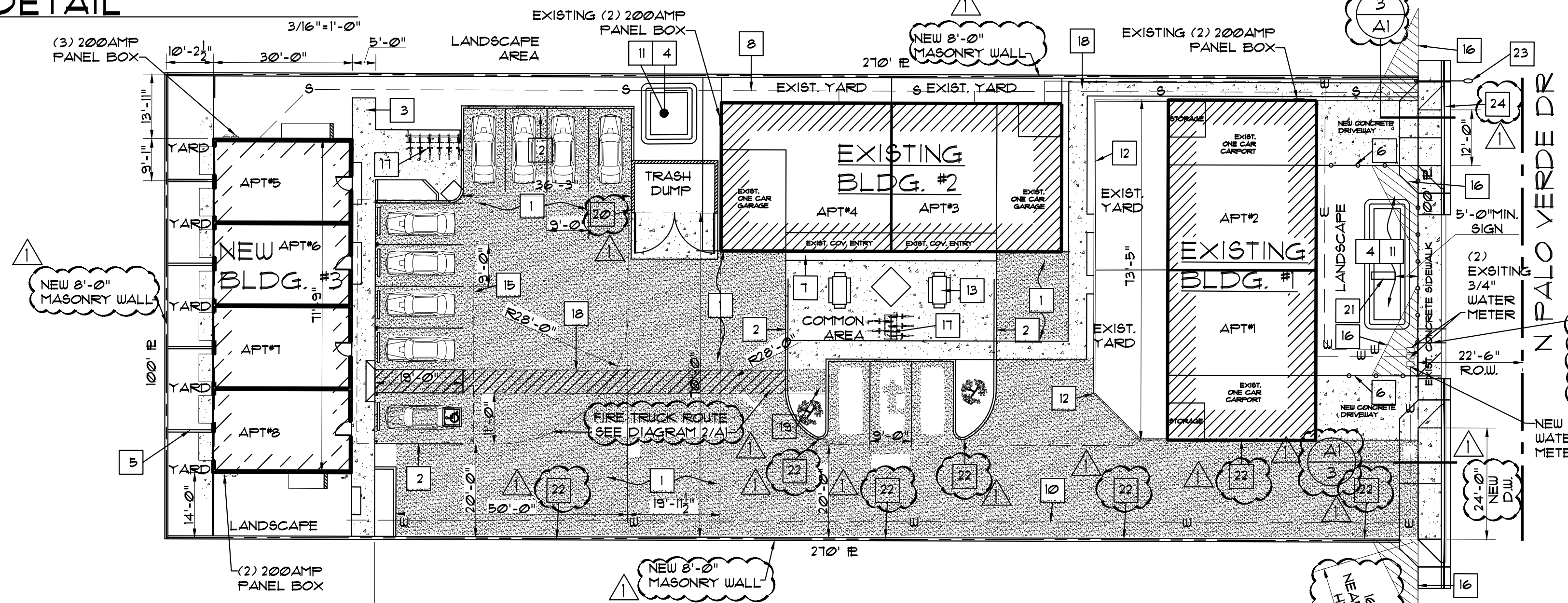


- NOTES:**
1. DEPRESSED CURB SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR THE TYPE OF CURB USED AT THAT LOCATION.
 2. CONTRACTION JOINT(S) FOR DRIVEWAY ENTRANCE: WIDTH LESS THAN 22' NONE REQUIRED; WIDTH GREATER THAN 22' AND LESS THAN 30' LOCATE SINGLE JOINT ON D/W CENTERLINE; WIDTH OF 30' OR GREATER LOCATE TWO JOINTS TO EQUALLY DIVIDE THE DRIVEWAY ENTRANCE WIDTH.
 3. DETAIL GEOMETRICS ARE BASED ON A CURB HEIGHT OF SIX INCHES (6"), AN ATTACHED SIDEWALK WIDTH OF FIVE FEET (5'), AND A DRIVEWAY RAMP LENGTH NOT EXCEEDING SIX FEET (6'). GEOMETRIC MODIFICATIONS MAY BE REQUIRED WHEN CONDITIONS ARE MODIFIED.
 4. 1/2-INCH EXPANSION JOINTS SHALL COMPLY WITH SECTION 340.
 5. BACK OF CURB - CONSTRUCTION JOINT.
 6. CONCRETE CLASS AS NOTED IN TABLE. CONCRETE PER SECTION 725.
 7. SUBGRADE PREPARATION, SECT. 301.
 8. FLOW LINE OF GUTTER.
 9. DEPRESSED CURB.
 10. SECT. A-A AND ELEVATION: D/W SHOWN WITH VERTICAL CURB AND GUTTER, ROLL TYPE CURB AND GUTTER TREATED SIMILARLY.
 11. ROUGH BROOM FINISH FULL WIDTH OF RAMP AND WINGS.
 12. TROWEL AND USE LIGHT HAIR BROOM FINISH FOR WALKWAY AREA.
 13. DRIVEWAY ENTRANCE WIDTH IS THE DRIVEWAY WIDTH PLUS ADDITIONAL WIDENING REQUIRED BY THE LOCAL JURISDICTION.
 14. ELEVATION AT TOP OF DRIVEWAY RAMP SHALL BE EQUAL TO OR HIGHER THAN NORMAL CURB ELEVATION.

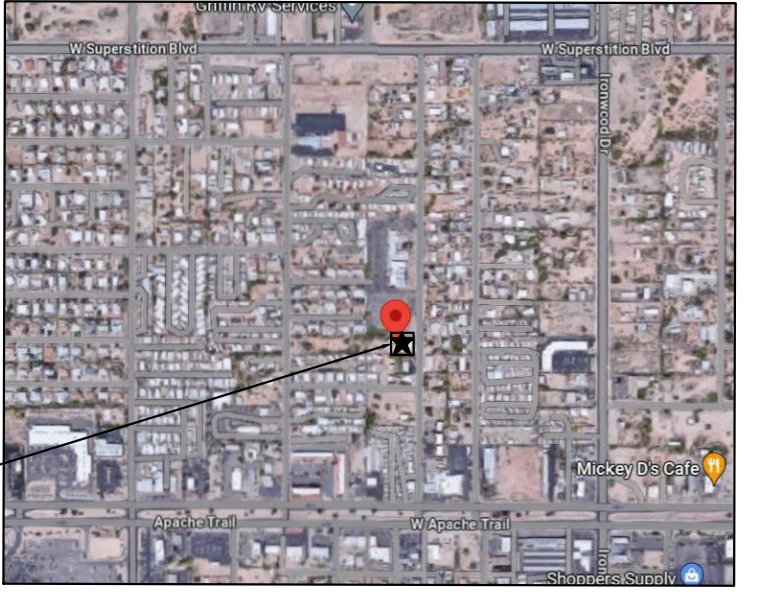
COMMERCIAL AND INDUSTRIAL					RESIDENTIAL				
DRIVEWAY ENTRANCE WIDTH	MIN.	MAX.	CLASS	DEPTH 'X'	DRIVEWAY ENTRANCE WIDTH	MIN.	MAX.	CLASS	DEPTH 'X'
COMMERCIAL	16'	40'	A	9"	MAJOR STREET	16'	30'	B	5"
INDUSTRIAL	16'	40'	A	9"	COLLECTOR STREET	12'	30'	B	5"
	24' MIN. FOR TWO WAY TRAFFIC				LOCAL STREET	12'	30'	B	5"
						16' DESIRABLE			

DETAIL NO. 250-2
MARICOPA ASSOCIATION OF GOVERNMENTS
STANDARD DETAIL ENGLISH
DRIVEWAY ENTRANCES WITH SIDEWALK ATTACHED TO CURB
REVISED 01-01-2013
DETAIL NO. 250-2

3 DRIVEWAY DETAIL



SITE



OWNER:
HERMELINDA FANDO
480-212-3410

ARCHITECT:
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DON W. JOLLEY
480-560-7554
artecdesigns@aol.com

ARCHITECTURAL DESIGNER:
JOE A. BEGAY
224 E. JULIE DR.
TEMPE, AZ 85283
480-853-5861
joe@aladesign.net
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PROJECT SITE DATA:

ACCESSOR PARCEL #: 101-02-0050
SITE ADDRESS: 282 N. PALO VERDE DR.
APACHE JUNCTION, AZ 85120

UTILITIES:
WATER - ARIZONA WATER
SEWER - APACHE JUNCTION
ELECTRIC - SRP
GAS - SOUTHWEST GAS

LOT SIZE:
GROSS AREA: 29,500 SQFT. (0.671 ACRES NET)
NET AREA: 27,000 SQFT. (0.619 ACRES NET)
FURFOOSE FOOTPRINT 12,798 SF.
12,798/27,000 = 47.40%
47.40% LOT COVERAGE

LANDSCAPE:
3,511 SF.
3,511/27,000 = 13.00%
COMMON AREA:
1,351 SF.
1,351/27,000 = 5.01%

LOT #: 97
SUB-DIVISION:
AMD FLAT OF NEWTOWN
ZONING:
R-5

LEGAL DESCRIPTION:

LOT 9 IN BLK. 1 NEWTOWN SUBD (27,000 SQ. FT.)
BK05-PG23A SEC. 19-DN-00E

BUILDING DATA:

CONSTRUCTION TYPE III-B
OCCUPANCY TYPE: R
SPRINKLER SYSTEM BUILDING: NO
LANDSCAPING AREA IN PARKING AREA: ALL SETBACK AREA

SQUARE FOOTAGE:
BLDG. #1 (APT. #1, APT. #2) 2,349
BLDG. #2 (APT. #3, APT. #4) 2,349
NEW BLDG. #3 (APT. #5 THRU #8) 2,163
TOTAL 6,861

BUILDING HEIGHT:
12'-0"

PARKING NOTES: APT. #5 THRU APT. #8

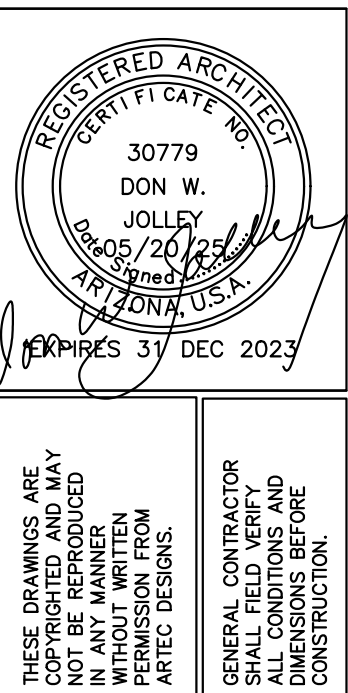
- REQUIRED PARKING: (0.3 PER UNIT ADDITIONAL PARKING SPACE) = 12
- 12 PARKING SPACE REQUIRED
- 1 PARKING SPACE PROVIDED W/ 1 ADA PARKING SPACE
- 4-CARPORT EXISTING WITH THE EXISTING 4-APARTMENT UNITS.

LEGEND:

- EXISTING BUILDING
- PURPOSE BUILDING
- TURF AREA
- 5' ADA PATH WAY
- PAVE AREA
- CONCRETE AREA

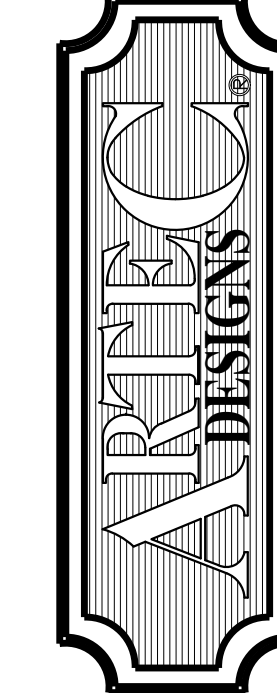
ABBREVIATION:

- B.S.L. = BUILDING SETBACK LINE
- ROW. = RIGHT OF WAY
- P.U.E. = PUBLIC UTILITY EASEMENT



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DON W. JOLLEY
ARCHITECT



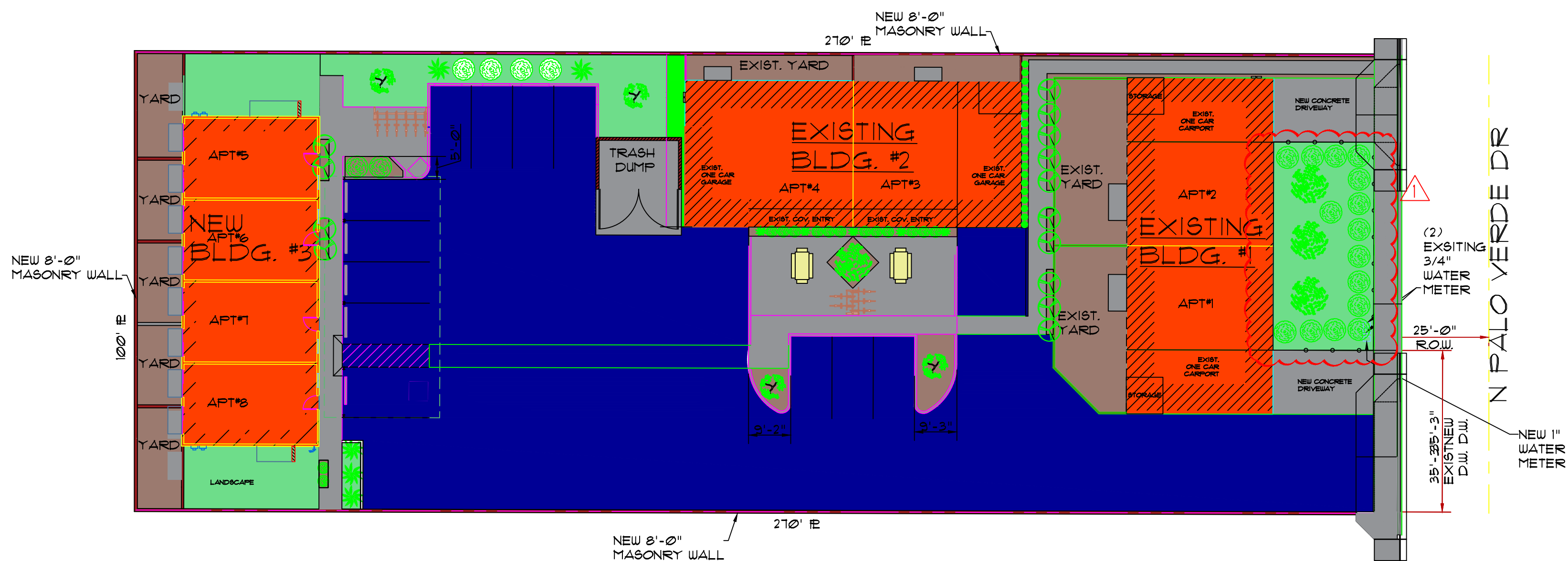
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1st REVISION: CITY OF APACHE JUNCTION

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PRELIMINARY LANDSCAPE PLAN (COLORED)
1"=20'-0"

LEGEND:

PHOENIX ACTIVE MANAGEMENT AREA LOW-WATER-USE/DROUGHT-TOLERANT PLANT LIST

- PHOENIX CANARYTREE (DATE PALM) TREE

- 6 FEET PALO VERDE TREE

- EBENOPSIS SPP. (EBONY) TREE

- SALVIA SPP. (SAGE) SHRUBS

- DODONAEA VIXCOSA (HOP BUSH) SHRUBS

- CONCRETE SLAB

- TURF AREA

- BUILDING NEW/EXISTING

- TERRAIN AREA

- PAVED DRIVEWAY

GENERAL NOTES:

1. DARK SKY LIGHTING REGULATIONS ARE REQUIRED FOR ALL MULTI-FAMILY DEVELOPMENT. ALL LIGHT SOURCES SHALL BE DOWN-LIT AND FULLY SHIELDED. CORRELATED COLOR TEMPERATURE FOR LIGHT FIXTURES ARE NOT TO EXCEED 3,000 KELVINS.

2. ALL SHRUBS, PLANTS, AND BUSHES SHALL BE LOCATED A MINIMUM OF THIRTY-SIX INCHES (36") FROM ALL PUBLIC STREETLIGHTS, TRAFFIC SIGNAL Poles, TRAFFIC SIGNAL CABINETS, AND FULL BOX IN THE RIGHT OF WAY.

3. ALL TREES, CACTI, CREEPING/VINING GROUND COVER, AND PLANTS SHALL BE LOCATED A MINIMUM OF TWENTY FEET (20') FROM OUTSIDE BASE OF THE TREE/PLANT TO ALL PUBLIC STREETLIGHTS, TRAFFIC SIGNAL Poles, TRAFFIC SIGNAL CABINETS, AND FULL BOXES IN THE RIGHT OF WAY.

4. NO ONSITE PRIVATE STRUCTURES OR PRIVATE SIGNAGE SHALL EXTEND INTO PUBLIC RIGHT-OF-WAY.

5. NO PARKING ALLOWED ON PUBLIC STREETS, AL PARKING (RESERVED & UNRESERVED) TO BE PROVIDED ONSITE.

6. ANY NECESSARY BACK-FLOW PREVENTERS (BFPs) INSTALLED WITH THE PROJECT SHALL BE INSTALLED ON PRIVATE PROPERTY. BFPs MAY NOT BE PLACED IN THE PUBLIC RIGHT-OF-WAY.

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03/19/25
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DRAWN BY: JB
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GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.

APARTMENT COMPLEX

282 N. PALO VERDE DR. APACHE JUNCTION, AZ 85210

DON W. JOLLEY
ARCHITECT
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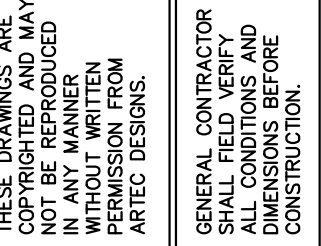
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DRAWN BY: JB
DATE: 05/20/25
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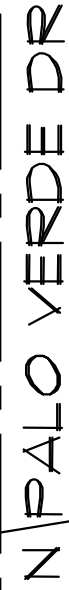


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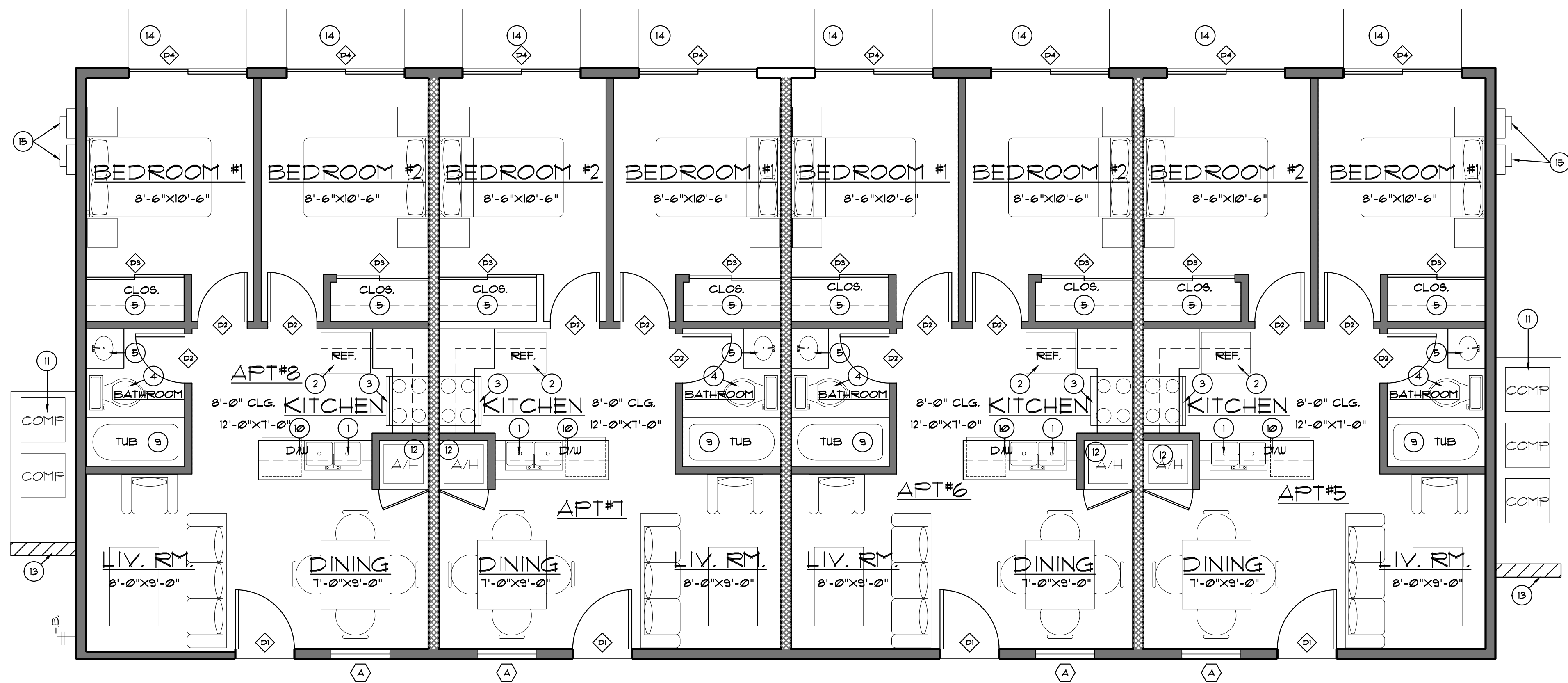


NT.S.



NEW DRAINAGE
STRUCTURE TO
CONVEY
HALF-STREET RUNOFF
INTO ONSITE
RETENTION BASINS

$$1'' = 2\phi' - \phi'$$



FLOOR PLAN - NOTED

1/4" = 1'-0"

GENERAL NOTES:

1. ALL EXTERIOR WALLS & FIREWALLS ARE 2X6 D.F. #2 STUD WALL @ 16" O.C., OUTER SIDE FACE OF STUD.
2. EXTERIOR WALL R-19 MIN. BATT. INSULATION
3. CEILING BATT. INSULATION R-38 MIN.
4. INTERIOR WALLS 1/2" GYP. BD.
5. CEILING 1/2" GYP. BD. SAG-RESISTANT
6. 1-HOUR FIREWALL BETWEEN EACH UNITG WILL USE (2) TYPE 'X' GYP. BD. 5/8"

FLOOR PLAN KEY NOTES:

1. DBL. SINK WITH GARBAGE DISPOSAL
2. REFRIGERATOR SPACE - STUB OUT FOR ICE MAKER
3. ELECTRIC COOKTOP WITH RANGE HOOD ABOVE - COORDINATE WITH MANUFACTURER'S REQUIREMENTS.
4. WATER CLOSET - REFER TO GENERAL PLUMBING NOTES.
5. LAVATORY - REFER TO GENERAL PLUMBING NOTES.
6. MIRROR
7. BASE CABINET WITH OVERHEAD CABINET.
8. SHELF AND ROD
9. ENAMEL FINISH STEEL TUB W/ ROD
10. DISHWASHER - REFER TO GENERAL PLUMBING NOTES
11. GROUNDED CONDENSER-SEE MECHANICAL PLAN
12. AIR HANDLER-SEE MECHANICAL PLAN
13. 36" CTU BLOCK SCREEN WALL.
14. 4" CONC. LANDING
15. (2) 200AMP PANEL BOXES

DOOR SCHEDULE

MARK	LOCATION	SIZE	DOOR TYPE	DOOR MATERIAL	QTY.
①	FRONT ENTRY	3'-0"x6'-8"	EXTERIOR FLUSH	SOLID WOOD	4
②	BEDRM. & BATH RM.	2'-6"x6'-8"	INTERIOR 6-PANEL	HC TEMP. HARDBOARD	12
③	CLOSET	4'-8"x6'-8"	SLIDING WOOD DOOR	HOLLOW WOOD DOOR	8
④	BEDRM.	6'-0"x6'-8"	SLIDING WOOD DOOR	HOLLOW WOOD DOOR	8

WINDOW SCHEDULE

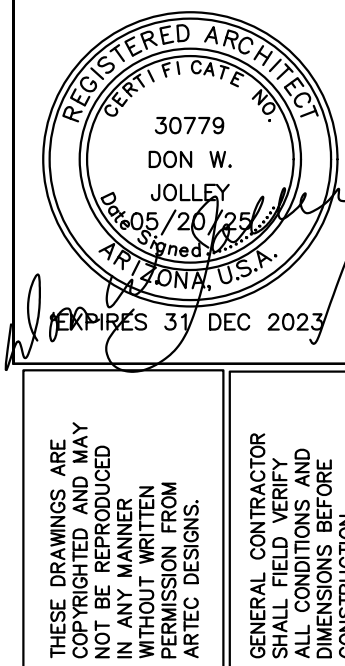
WINDOW NUMBER	WINDOW SIZE	GLASS TYPE	MAX UFACTOR	MAX SHGC	REMARKS	QUANTITY
A	3'-0" x 4'-2"	INSUL.	0.40	0.25	CASEMENT WINDOW	4

SQUARE FOOTAGE:

APT#5	544.5 S.F.
APT#6	531 S.F.
APT#7	531 S.F.
APT#8	544.5 S.F.
GRAND TOTAL S.F.	2151 S.F.
BUILDING HEIGHT:	12'-0"

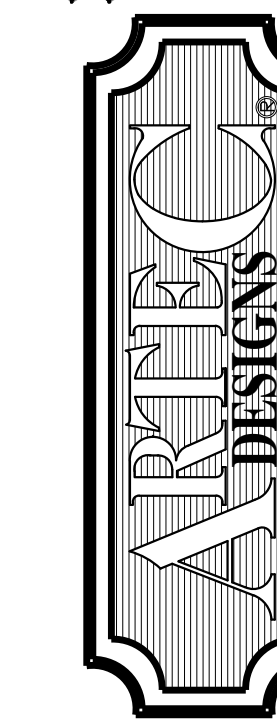
LEGEND:

- 2X4 OR 2X6 D.F. #2 STUD WALL @ 16" O.C.
- 2X6 D.F. #2 STUD 1-HOUR FIREWALL @ 16" O.C.



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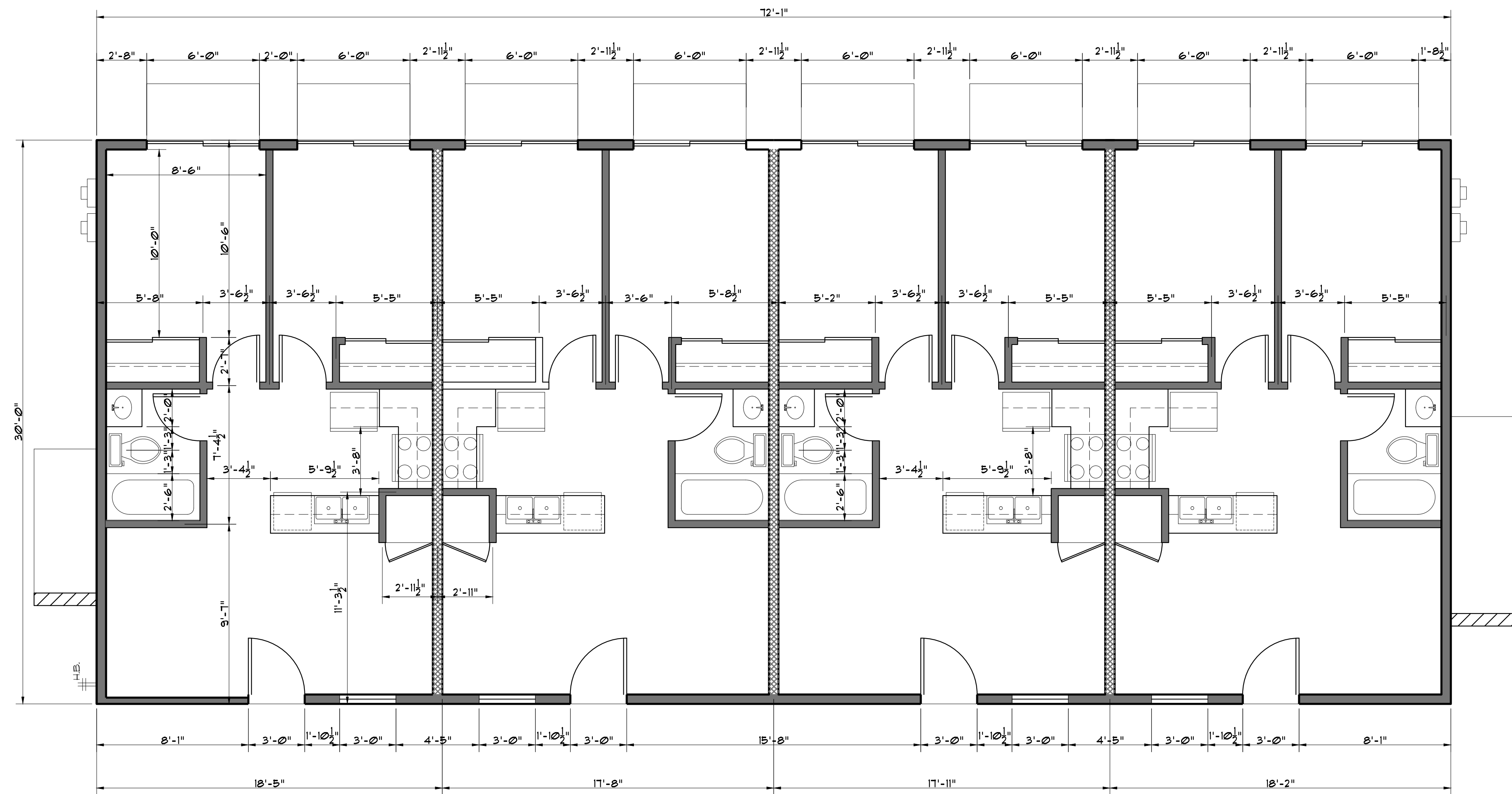
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DRAWN BY: JB

DATE: 05/20/25

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FLOOR PLAN (DIMENSIONED)

1/4" = 1'-0"

REGISTERED ARCHITECT
30779
DON W.
JOLLEY
05/20/25
APACHE, AZ
EXPIRES 31 DEC 2023

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GENERAL CONTRACTOR
SHALL FIELD VERIFY
ALL DIMENSIONS AND
CONSTRUCTION.

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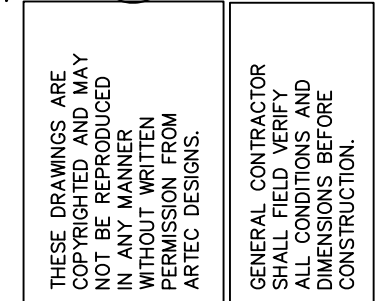
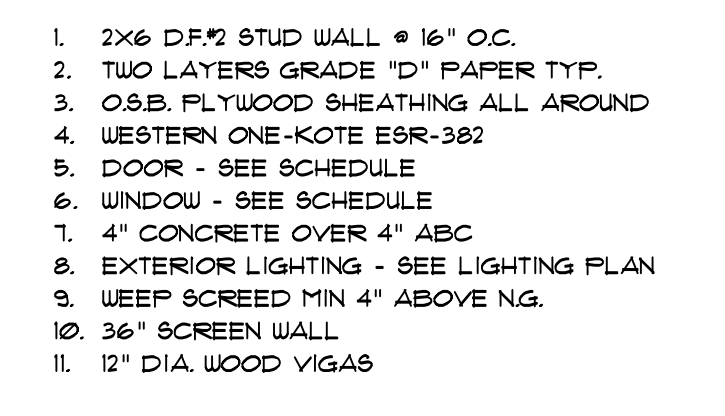
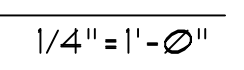
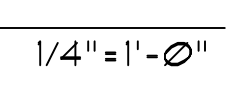
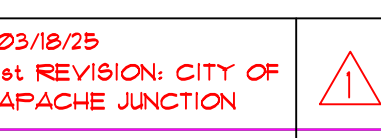
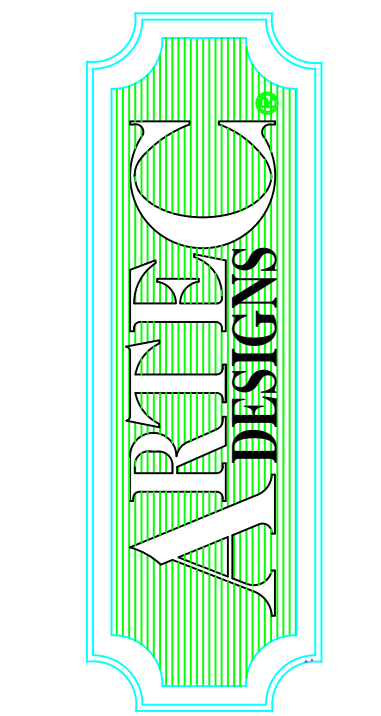
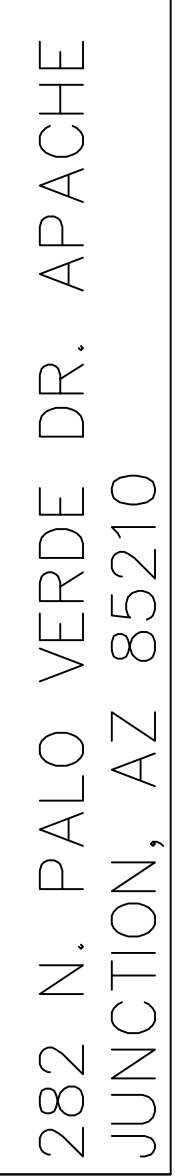
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$$1/4'' = 1' - \emptyset''$$

$$\frac{1}{4}'' = 1' - \emptyset''$$


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