

BANYAN APACHE JUNCTION MULTI-FAMILY

APACHE JUNCTION, ARIZONA

OWNER | DEVELOPER |
BANYAN INTERESTS, LLC
 AN UNLIMITED LIABILITY COMPANY
 2801 E CAMELBACK RD STE 450
 PHOENIX, AZ 85016
 240.620.6298
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PRELIMINARY LANDSCAPE PLAN
 SEC OF N, RENNICK DR & W, VIRGINIA ST, APACHE JUNCTION, ARIZONA
 BANYAN APACHE JUNCTION MULTI-FAMILY

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DATE:	APRIL 6, 2026
PRELIMINARY	
LANDSCAPE PKG	
LANDSCAPE PLAN	
SHEET TITLE:	COVER SHEET
1 OF 6	
PLP-00	

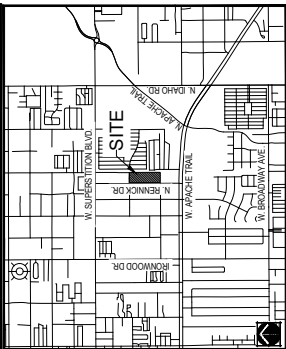
LANDSCAPE GENERAL NOTES:

- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- VERIFY ALL UTILITIES AND LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAIL REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND THE PROJECT LANDSCAPE ARCHITECT EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONTRACT DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE INSPECTIONS AND BEFORE ANY UNDERGROUND UTILITIES, WADING, AND STREET IMPROVEMENTS.
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION. CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- CONTRACTOR SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING CODES AND PROJECT BOUNDARIES. ROUGH GRADE SHALL BE BELOW THE TOP OF EXISTING WALLS AND CURBS PRIOR TO RECEIVING DECOMPOSED GRANITE.
- ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

APACHE JUNCTION LANDSCAPE NOTES:

- INSTALLATION OF UTILITY SERVICES AND/OR WIRING SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY LANDSCAPING. CONTRACTOR SHALL VERIFY PROPER INSTALLATION. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ARRANGE AN INSPECTION APPOINTMENT WITH THE PLANNING DIVISION, A SURVEY BOND, CASH DEPOSIT OR OCCUPANCY OR FORMAL INSPECTION MAY BE PERMITTED BY THE DEVELOPMENT SERVICES DIRECTOR OR DESIGNER IN LIEU OF IMMEDIATE INSTALLATION OF PLANT MATERIALS. THE DATE OF THE CERTIFICATE OF OCCUPANCY OR FORMAL INSPECTION, THEN 3 MONTHS FROM THE DATE OF LANDSCAPE MAINTENANCE. ALL LANDSCAPING SHALL BE REASONABLY MAINTAINED AND ANY DEAD PLANT MATERIAL SHALL BE IMMEDIATELY REPLACED BY THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO REMOVAL OF WEEDS, PRUNING, TRIMMING, WATERING OR MAINTENANCE MUST ENSURE THAT PEDESTRIAN AND VEHICULAR TRAFFIC WILL NOT BE OBSTRUCTED BY ANY OF THE VEGETATION.
- OVERHEAD WIRES, UNDERGROUNDING OF OVERHEAD WIRES AND EQUIPMENT SHALL BE REPAIRED AT THE OWNER'S EXPENSE. CONTRACTOR SHALL VERIFY PROPER INSTALLATION. IT IS THE OWNER'S OR CONTRACTOR'S RESPONSIBILITY TO ARRANGE AN INSPECTION APPOINTMENT WITH THE PLANNING DIVISION, A SURVEY BOND, CASH DEPOSIT OR OCCUPANCY OR FORMAL INSPECTION MAY BE PERMITTED BY THE DEVELOPMENT SERVICES DIRECTOR OR DESIGNER IN LIEU OF IMMEDIATE INSTALLATION OF PLANT MATERIALS. THE DATE OF THE CERTIFICATE OF OCCUPANCY OR FORMAL INSPECTION, THEN 3 MONTHS FROM THE DATE OF LANDSCAPE MAINTENANCE. ALL LANDSCAPING SHALL BE REASONABLY MAINTAINED AND ANY DEAD PLANT MATERIAL SHALL BE IMMEDIATELY REPLACED BY THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO REMOVAL OF WEEDS, PRUNING, TRIMMING, WATERING OR MAINTENANCE MUST ENSURE THAT PEDESTRIAN AND VEHICULAR TRAFFIC WILL NOT BE OBSTRUCTED BY ANY OF THE VEGETATION.
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VICINITY MAP



ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WEED-FREE CONDITION AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTOR. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE LEGEND:

SYMBOL	BOTANICAL COMMON NAME	QTY
(Symbol)	ACACIA ANSERINA 3" BOX, 7' CAL IN	48
(Symbol)	MELIA 24" BOX, 7' CAL IN	71
(Symbol)	PHOENIX PALM 38" BOX, 7' CAL IN	20
(Symbol)	PHOENIX PALM 38" BOX, 7' CAL IN	32
(Symbol)	PHOENIX PALM 38" BOX, 7' CAL IN	7
(Symbol)	PHOENIX PALM 38" BOX, 7' CAL IN	68
(Symbol)	PHOENIX PALM 38" BOX, 7' CAL IN	38
(Symbol)	PHOENIX PALM 38" BOX, 7' CAL IN	4

LANDSCAPE DATA:

STREET FRONTAGE CALC: 1,048 SF. (20X AC)
 TOTAL TURF AREA: 92,846 SF. (W/H) (2.12 AC)
 NET AREA: 7,888 SF. (INCLUDE 800)
 GROSS AREA: 89,734 SF. (W/ 48 UNITS)
 NET AREA: 8,998 SF. (W/ 48 UNITS)
 DENSITY: 22.0 DU/AC

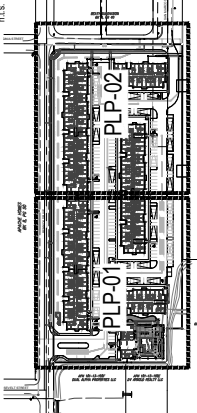
SITE PLANT DATA:

APN: 91-13-1800
 GROSS AREA: 7.3 AC
 NET AREA: 8,998 SF. (W/ 48 UNITS)
 DENSITY: 22.0 DU/AC

SHEET INDEX:

PLP-00	COVER SHEET, NOTES, LEGENDS, OTS
PLP-01	LANDSCAPE PLAN - SOUTH
PLP-02	LANDSCAPE PLAN - NORTH
PLP-03	PRELIMINARY LANDSCAPE PLAN - NORTH
PLP-04	PRELIMINARY LANDSCAPE PLAN - SOUTH
PLP-05	PRELIMINARY LANDSCAPE PLAN - NORTH
PLP-06	PRELIMINARY LANDSCAPE PLAN - SOUTH

KEY MAP:



FIELD VERIFY ALL UTILITIES BEFORE PLANTING TREES.
 A COUNTY DUST CONTROL PERMIT IS REQUIRED. THE CONTRACTOR SHALL
 ALL PLANT MATERIAL BETWEEN 3"0" AND 10"0" IN HEIGHT, WITHIN A SIGHT
 VISIBILITY TRIANGLE SHALL NOT EXCEED 1'0" IN ITS GREATEST
 CROSS-SECTIONAL DIMENSION PER CITY OF PHOENIX CODE, CHAP 9.11.
 THERE ARE NO OVERHEAD POWER LINES ON THIS PROJECT
 A 3' CLEARANCE AROUND ALL EDGES OF ALL TRANSFORMER PADS AND A
 CLEAR OPERATIONAL AREA THAT EXTENDS 12 FEET IMMEDIATELY IN FRONT
 OF ALL TRANSFORMERS IS TO BE MAINTAINED. REFER TO THE UTILITY
 A MINIMUM OF THREE FOOT (3') ACCESS TO AND CLEARANCE AROUND ALL
 FIRE HYDRANTS PER MAG STANDARD DETAIL 162 IS TO BE MAINTAINED. A 3'
 CLEARANCE FROM PLANT MATERIAL SHALL BE MAINTAINED FOR FDC.



DATE: APRIL 6, 2026
 PRELIMINARY
 LANDSCAPE PKG

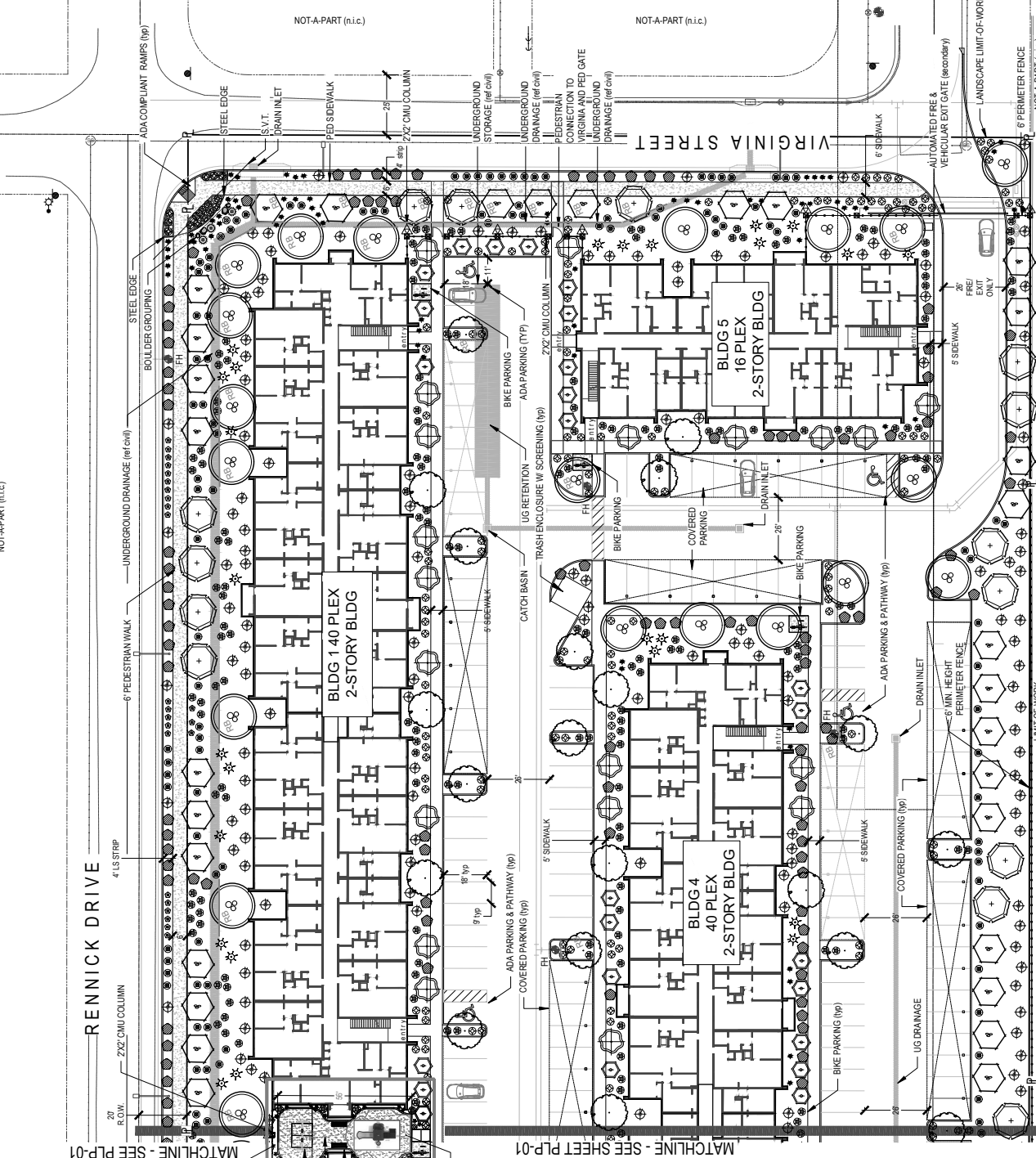
SHEET TITLE:
 LANDSCAPE PLAN - NORTH

3 of 6
 PLP-02

LANDSCAPE LEGEND:

SYMBOL	BOTANICAL / COMMON NAME
	AGAVE ANSERIA 3" BOX, 2" CAL. MIN
	CAESALPINA WOODIANA MEZANISED OF PARADISE
	CHLORIS LINARIAS 3" BOX, 2" CAL. MIN DESERT WILLOW
	PARKINSONIA X DESERT MESQUITE 24" BOX HIGH BREAK MAX 17.5' CAL DESERT MUSEUM PALM VERDE
	PROSTRA X RED PINE 24" BOX, 1.5" CAL. MIN RED PINE POSTAGE
	PROSTRA X PROSTRUM TM 3" BOX, 2" CAL. MIN HYBRID MESQUITE
	SEBESIA WISCONSINIA 'MILLENNIUM' 24" BOX, 1.5" CAL. MIN SOUTHERN LIVE OAK
	WASHINGTONIA FLUWERA 18" TRUNK FEET MATCHING SKINNED CALIFORNIA PAMPALILI

	BOGARTVILLEA X DALIA 1.5" CAL. MIN
	GOLDEN BARREL CACTUS 1.5" CAL. MIN
	BELLS 1.5" CAL. MIN
	BLUE BELLE EMU BUSH 1.5" CAL. MIN
	VALENTINE BUSH 1.5" CAL. MIN
	LEUCOPHYLLON 1.5" CAL. MIN
	MECANAHONIA 1.5" CAL. MIN
	BRAD 1.5" CAL. MIN
	200 BRAD LAMINUM SAFE 1.5" CAL. MIN
	CELESTINE 1.5" CAL. MIN
	CELESTINE 1.5" CAL. MIN
	RELIANT BRITTONIANA 1.5" CAL. MIN
	DESERT BELLA 1.5" CAL. MIN
	ORANGE JARLEY YELLOW BELLS 1.5" CAL. MIN
	OPUNTIA SANTA RITA 1.5" CAL. MIN
	SANTA RITA PRICKLY PEAR 1.5" CAL. MIN
	SECOPIPHIA GABRILA WINDBREW 1.5" CAL. MIN
	ONITEBACK SANSIBSE EMU 1.5" CAL. MIN
	LANTANA WHITE WENDIS 1.5" CAL. MIN
	TRIALOG NATURAL 1.5" CAL. MIN
	7-AWG GEMINI CORA 1.5" CAL. MIN
	TWIN FLOWERED AGAVE 1.5" CAL. MIN
	QUEEN VICTORIA AGAVE 1.5" CAL. MIN
	AGAVE X BLUE ELF 1.5" CAL. MIN
	GRANT HESPERALOE 1.5" CAL. MIN
	BROCKLETON RED YUCCA 1.5" CAL. MIN
	YUCCA PALMIDA 1.5" CAL. MIN
	YUCCA PANDORA 1.5" CAL. MIN
	TYNISTED LEAF YUCCA 1.5" CAL. MIN
	MIRIAM BURNING GRASS 1.5" CAL. MIN
	TOPRESS & BERT MATERIAL 1.5" CAL. MIN
	DECOMPOSED GRANITE - 2" MIN. DEPTH SIZE 3/4" SCREENED COLOR 151 COLOR 151 SURFACE SELECT SIZE 3/4" X 2" X 600/400 (SAME VENDOR AS DECOMPOSED GRANITE) COLOR TO MATCH D.G.
	DECOMPOSED GRANITE - 7" MIN. DEPTH SIZE 3/4" X 2" X 600/400 (SAME VENDOR AS DECOMPOSED GRANITE) COLOR TO MATCH D.G.
	18" INDICATOR FOOT BARRIER AT 18" MIN. THICKNESS @ 0.6 U.S. G. UTILITY



NOT-A-PART (n.i.c.)

RENNICK DRIVE
 4" L. STRIP
 20' R.O.W.
 7.5" CMU COLUMN
 6" PEDESTRIAN WALK
 UNDERGROUND DRAINAGE (ref c/w)

BLDG 140 PLEX
 2-STORY BLDG

BLDG 4
 40 PLEX
 2-STORY BLDG

BLDG 5
 16 PLEX
 2-STORY BLDG

NOT-A-PART (n.i.c.)

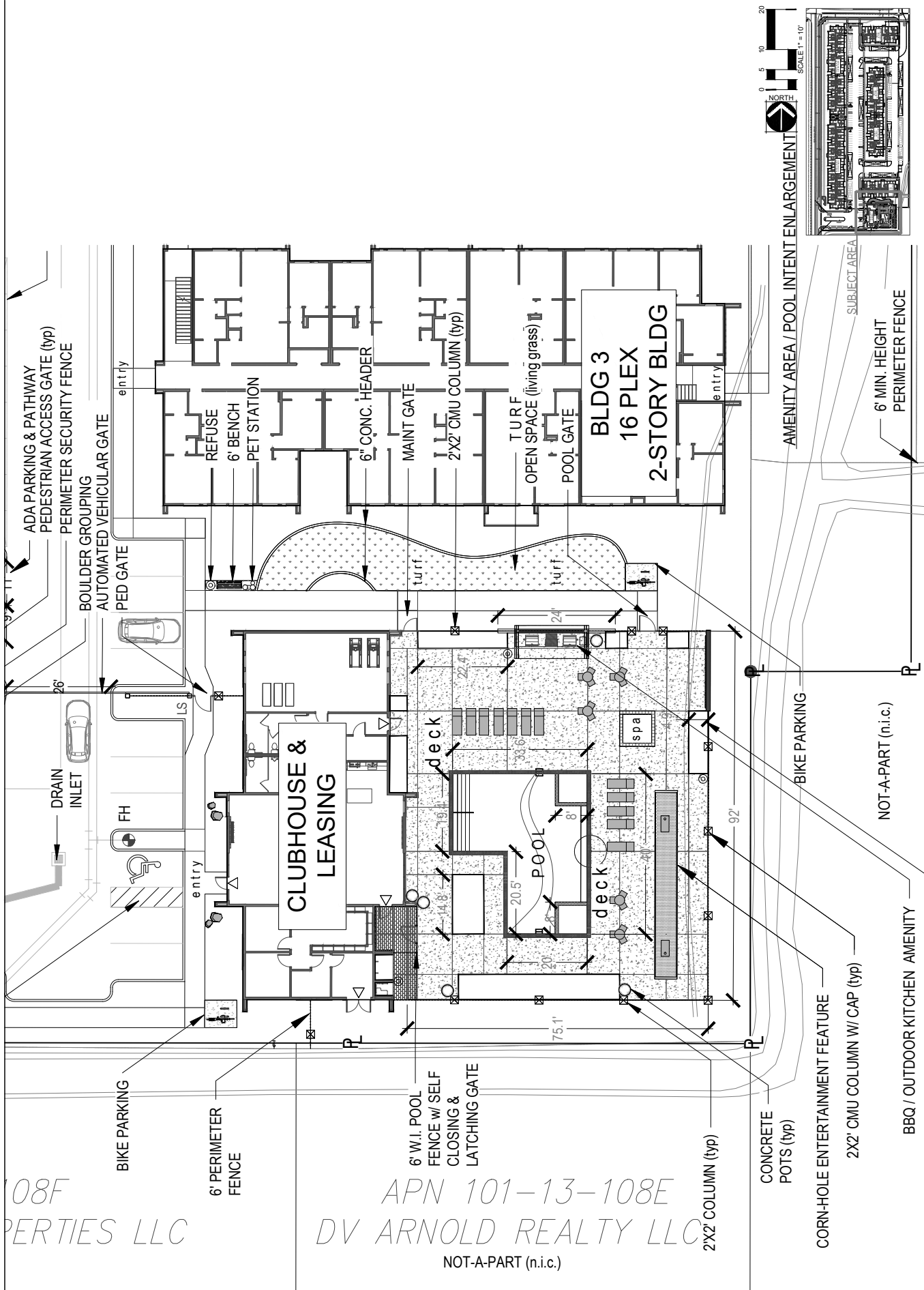
SCALE 1" = 20'



DATE:
 APRIL 6, 2026
 PRELIMINARY
 LANDSCAPE PKG

SHEET TITLE:
 AMENITY / POOL
 INTENT EXHIBIT
 4 of 6

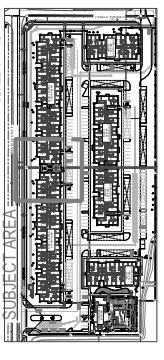
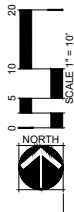
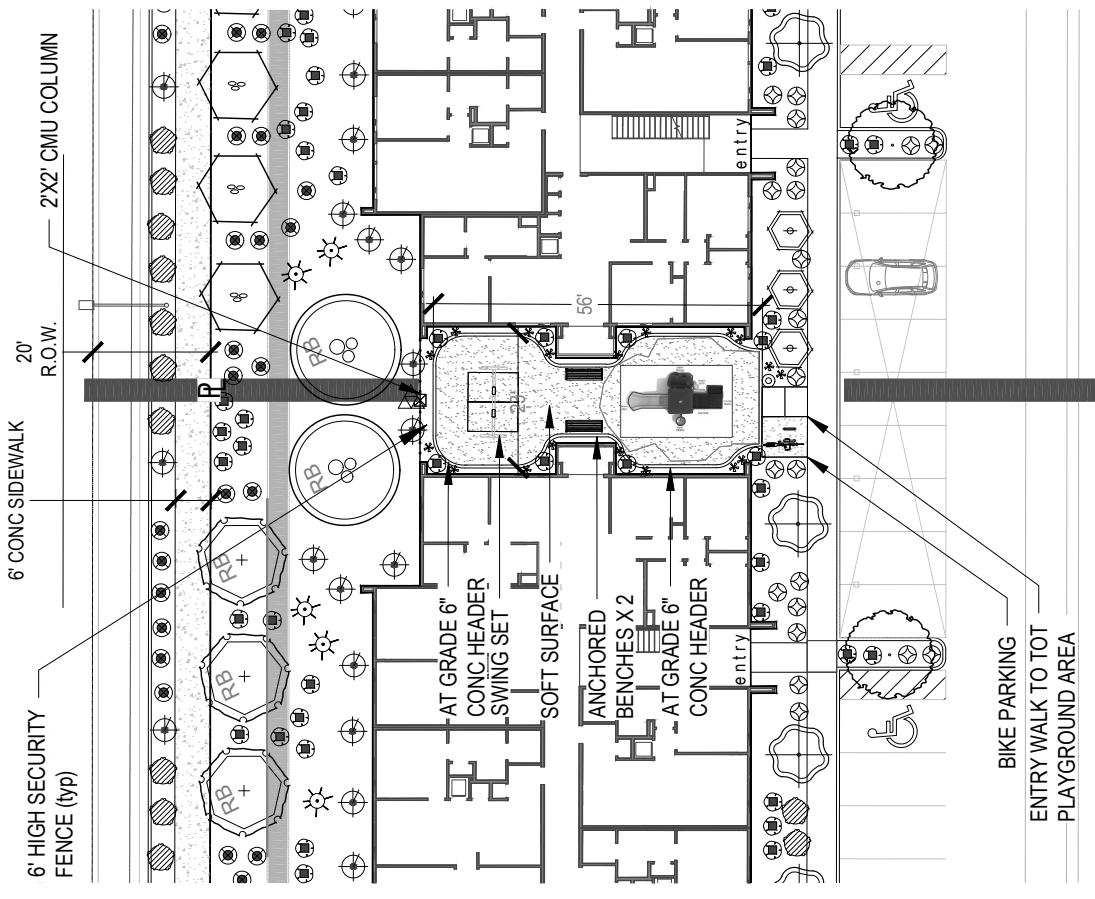
PLP-03



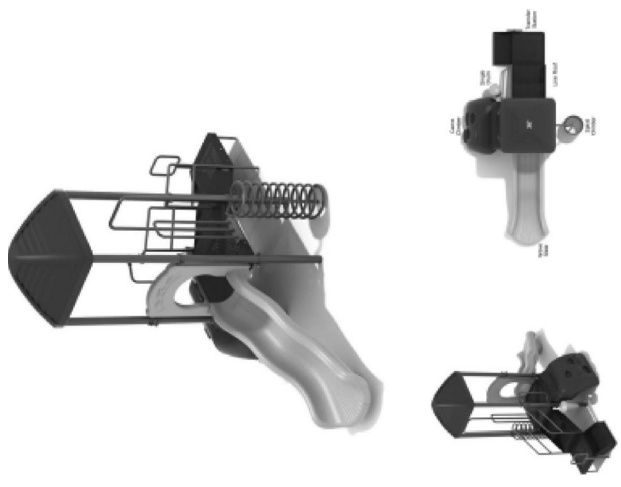


DATE:
 APRIL 6, 2028
 PRELIMINARY
 LANDSCAPE PKG

SHEET TITLE:
 AMENITY / POOL
 INTENT EXHIBIT
 5 of 6
 PLP-04



PLAYGROUND AMENITY ENLARGEMENT



Product Specifications

- Model number:** PKP001N
 - Age Range:** 2-12 years
 - Safety Zone:** 25' 6" x 19' 6"
 - Child Capacity:** 12-14
 - Fall Height:** 36"
 - Post Diameter:** 3.5-inch
 - Product Type:** Quick Ship
- ADA Accessibility

- Elevated:** 3 components
- Ground Level:** 1 component

- ADA COMPLIANT**
- Product Options

Select your color: Neutral



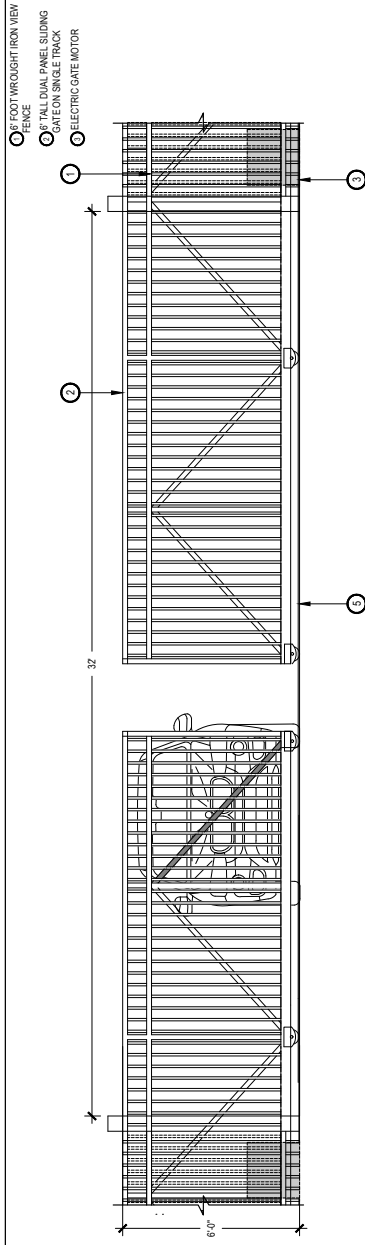
DATE:

APRIL 8, 2026
PRELIMINARY
LANDSCAPE PKG.

SHEET TITLE
ELEVATIONS

6 of 6

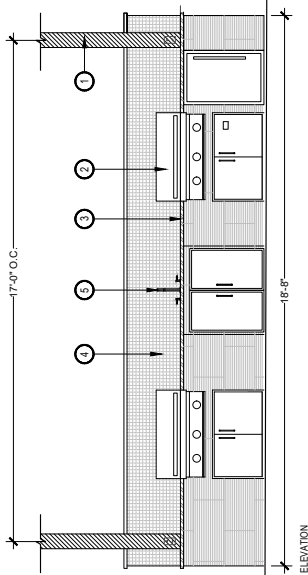
PLP-05



1 SLIDING VEHICULAR GATE AT SOUTH ENTRANCE

SCALE: 1/2" = 1'-0"

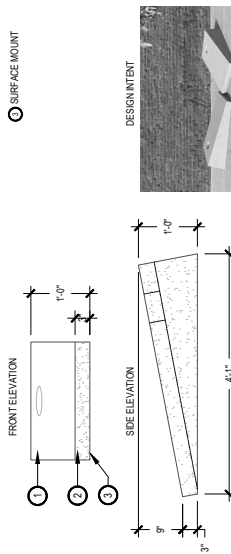
- 1 METAL PERIMETER FENCE
- 2 SELF-CLOSING, SELF-LATCHING PEDESTRIAN GATE
- 3 CODE COMPLIANT, ELECTRONIC KEY-FOR-READER BY OWNER COORDINATE WITH ELECTOR
- 4 2 STANDARD SELF-CLOSING GATE HINGES
- 5 BRUSHED ALUMINUM HANDLE PUSH BAR ON INTERIOR SIDE OF GATE
- 6 FINISH GRADE



4 OUTDOOR KITCHEN

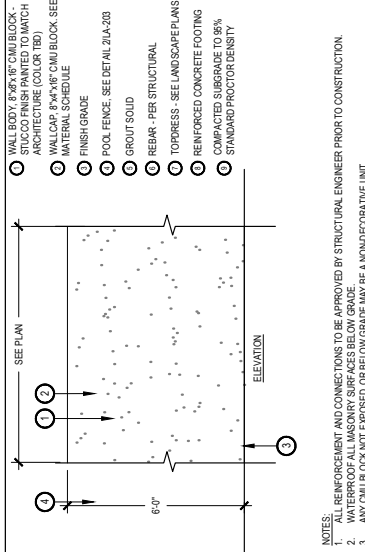
SCALE: 1/2" = 1'-0"

- 1 CAST CONCRETE BAG TOSS BOARD
- 2 HONED FINISH WITH TEXTURED SIDES
- 3 SURFACE MOUNT



5 BAG TOSS GAME

SCALE: 1" = 1'-0"



2 CMU INTERIOR PERIMETER WALL

SCALE: 1/2" = 1'-0"

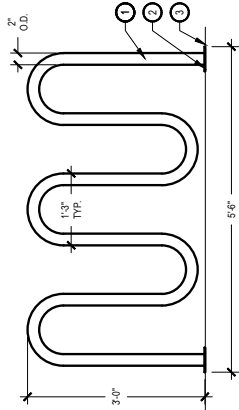
- 1 WALL BODY, 8"x8"x16" CMU BLOCK - STUCCO FINISH PAINTED TO MATCH ARCHITECTURE (COLOR TBD)
- 2 WALLCAP, 8"x4"x16" CMU BLOCK, SEE MATERIAL SCHEDULE
- 3 FINISH GRADE
- 4 POOL FENCE, SEE DETAIL 21A-203
- 5 GROUT SOLID
- 6 REBAR - PER STRUCTURAL TOPRESS - SEE LANDSCAPE PLANS
- 7 REINFORCED CONCRETE FOOTING
- 8 COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY



DESIGN INTENT

SCALE: 1/2" = 1'-0"

- 1 STREETSIDE 5-LOOP BIKE RACK WITH 7-BIKE CAPACITY, UNPAINTED FINISH (COLOR TBD)
- 2 SURFACE MOUNT
- 3 FINISH GRADE



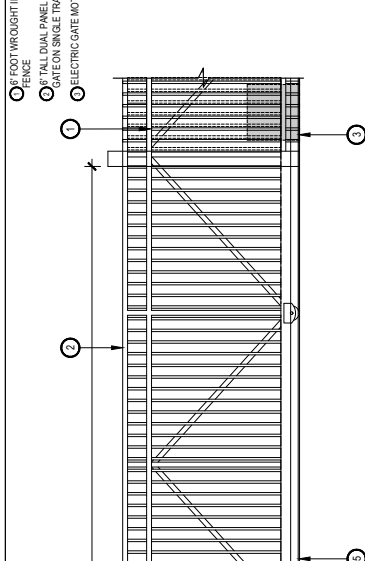
ELEVATION

DESIGN INTENT



7 STREETSIDE 5-LOOP BIKERACK

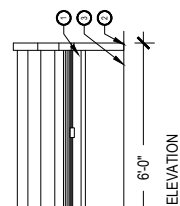
SCALE: 1" = 1'-0"



6 6' BENCH

SCALE: 3/4" = 1'-0"

- 1 6" PLASTIC WOOD BENCH WITH CAST ALUMINUM FRAME
- 2 SURFACE MOUNT
- 3 CONCRETE



ELEVATION

DESIGN INTENT

